

TRAVERSE CITY PLANNING COMMISSION REGULAR MEETING

TUESDAY, April 7, 2015

7:30 P.M.

**Commission Chambers
Governmental Center, 2nd Floor
400 Boardman Avenue
Traverse City, Michigan 49684**

Posted: April 3, 2015

AGENDA

The City of Traverse City does not discriminate on the basis of disability in the admission or access to or treatment or employment in, its programs or activities. Penny Hill, Assistant City Manager, 400 Boardman Avenue, Traverse City, Michigan 49684, 922-4440, T.D.D., 922-4766, has been designated to coordinate compliance with the non-discrimination requirements. If you are planning to attend and you have a disability requiring any special assistance at the meeting and/or if you have any concerns, please immediately notify the ADA Coordinator.

Planning Commission
c/o Russell Soyering, Planning Director
400 Boardman Avenue, Traverse City, MI 49684
231-922-4778

1. **CALL MEETING TO ORDER**
2. **ROLL CALL**
3. **ANNOUNCEMENTS**
4. **APPROVAL OF MINUTES.**
April 7, 2015 Regular Meeting and April 21, 2015 Study Session.
5. **OLD BUSINESS**
 - A. Capital Improvement Plan 2015-2021. Public Hearing.
 - B. Site Plan Review – Major Amendment 124 West Front Street
6. **NEW BUSINESS**
 - A. Planning Commission Representative on the Public Arts Commission. Action Requested
 - B. Planning Commission Representatives on a Staff led Public Engagement Plan. Action Requested.

7. CORRESPONDENCE

8. REPORTS

- A. City Commission - Commissioners Easterday and Werner
- B. Board of Zoning Appeals - Commissioner Bergman
- C. Grand Traverse Commons Joint Planning Commission - Commissioners Serratelli and Warren
- D. Planning Commission
 - 1. Housing Building Committee— Commissioner Bergman
 - 2. Active Transportation Committee—Commissioner Werner
 - 3. Master Plan Review Committee—Commissioners Bergman, Dow and Twietmeyer
 - 4. Parking Regulation Committee- Commissioner Serratelli
- E. Planning Department—Mr. Soyring

9. PUBLIC COMMENT

10. ADJOURNMENT

MINUTES
TRAVERSE CITY PLANNING COMMISSION
Regular Meeting

TUESDAY, MARCH 3, 2015

7:30 P.M.

Commission Chambers
Governmental Center, 2nd Floor
400 Boardman Avenue
Traverse City, Michigan 49684

PRESENT: Vice-Chairperson Jody Bergman, Commissioners Michael Dow, Janet Fleshman, Linda Koebert, Tim Werner, Chairperson John Serratelli, Bill Twietmeyer

ABSENT: Commissioners Jeanine Easterday and Jan Warren

STAFF PRESENT: Russ Soyering, Planning Director

1. **CALL MEETING TO ORDER-** Chairperson Serratelli called the meeting to order at 7:30 p.m.

2. **ROLL CALL**

3. **ANNOUNCEMENTS**

There were no announcements

4. **CONSENT CALENDAR**

The purpose of the consent calendar is to expedite business by grouping non-controversial items together to be dealt with by one Commission motion without discussion. Any member of the Commission, staff or the public may ask that any item on the consent calendar be removed therefrom and be placed elsewhere on the agenda for full discussion. Such requests will be automatically respected. If an item is not removed from the consent calendar, the action noted in parentheses on the agenda is approved by a single Commission action adopting the consent calendar.

A. February 3, 2015 Regular Meeting minutes and February 18, 2015 Special Meeting minutes (Approval recommended)

B. Setting a public hearing for the 2015-2021 Capital Improvement Plan for April 7, 2015.

Motion by Commissioner Bergman, second by Commissioner Dow, to approve the Consent Calendar. Motion carried 7-0 (Commissioners Warren and Easterday absent)

5. OLD BUSINESS

- A. Consideration of a rezoning request initiated by Cynthia Anderson on behalf of Bonter Properties, LLC, to rezone 314 E. Eighth Street from R-29 (Multiple Family Dwelling) District to C-2 (Neighborhood Center) District **(Public Hearing)** Action Requested.

Planning Director Soyring introduced the rezoning request.
Tom Krause, local business owner, made general comments
Motion by Commissioner Linda Koebert, second by Commissioner Bergman to approve the rezoning request. Motion carried 7-0 (Commissioners Warren and Easterday absent)

- B. Consideration of a rezoning request initiated by Tom Krause on behalf of Robert T. Cole and Richard Laylin, to rezone 1015 Hannah Ave and 1025 Hannah Ave from R-2 (Two-Family Dwelling) District to C-2 (Neighborhood Center) **(Public Hearing)** Action Requested.

Planning Director Soyring introduced the rezoning request.
Tom Krause, local business owner, made general comments
Motion by Commissioner Dow, second by Commissioner Werner to approve the rezoning request. Motion carried 7-0 (Commissioners Warren and Easterday absent)

6. NEW BUSINESS

The Boardman River Plan Acceptance as general guide for lower stretch of the Boardman River. Action Requested

Planning Director Soyring introduced the Boardman River Plan.
General discussion regarding the Boardman River Plan.
Motion by Commissioner Koebert, second by Commissioner Werner to adopt the Boardman River Plan as a general guide be approved and forwarded to the City Commission for their consideration. Motion carried 6-1 (Commissioner Twietmeyer No; Commissioners Warren and Easterday absent)

7. CORRESPONDENCE

None

8. REPORT

- A. City Commission - Commissioner Werner – City Commission chose an interim City Manager, ADU's coming up on City Commission agenda.

PLANNING COMMISSION
REGULAR MEETING MINUTES
MARCH 3, 2015
Page 3

- B. Board of Zoning Appeals - Commissioner Bergman – last meeting cancelled
- C. Grand Traverse Commons Joint Planning Commission - Commissioners Serratelli and Warren – meeting cancelled, staff meeting with property owners, possible public hearing in April on zoning ordinance
- D. Planning Commission
 - 1. Housing Building Committee— Commissioner Bergman - Has not met recently.
 - 2. Active Transportation Committee—Commissioner Werner – Anticipate draft of plan ready for the next PC meeting.
 - 3. Master Plan Review Committee—Commissioners Bergman – Committee not yet met recently.
 - 4. Parking Regulation Committee- Commissioner Serratelli – Had first meeting, discussed scope of committee/organization.
- E. Planning Department—Mr. Soyring – Pier Study committee will meet on March 10; two grants for Clancy Park will be submitted for funding.

9. PUBLIC COMMENT

General Discussion

Commissioner Linda Koebert indicated her willingness to serve on public arts committee. Commissioner Dow hoped to have a discussion on how we can have more community engagement.

9. ADJOURNMENT

Chairman Serratelli adjourned the meeting at 8:17pm.

Respectfully submitted,

Date: _____

Jan Warren, Secretary

MINUTES
TRAVERSE CITY PLANNING COMMISSION
Study Session

TUESDAY, MARCH 17, 2015

7:30 P.M.

Commission Chambers
Governmental Center, 2nd Floor
400 Boardman Avenue
Traverse City, Michigan 49684

PRESENT: Vice-Chairperson Jody Bergman, Commissioners Michael Dow, Jeanine Easterday, Janet Fleshman, Linda Koebert, Tim Werner, Bill Twietmeyer and Janice Warren

ABSENT: Chairperson John Serratelli

STAFF PRESENT: Russ Soyring, Planning Director;

1. CALL MEETING TO ORDER

Vice Chairperson Bergman called the meeting to order at 7:30 pm

2. ROLL CALL

3. ANNOUNCEMENTS

Mr. Soyring announced that the Grand Traverse Commons Joint Planning Commission meeting will be Wednesday night in Training Room regarding draft of Grand Traverse Commons development regulations

4. COMMUNITY ENGAGEMENT STRATEGIES

Russ Soyring introduced the community engagement strategies agenda item and materials from recent workshops that commissioners and staff have attended.

General discussion

Adrienne Rossi, 312 W. Seventh Street addressed the commission, made general comments

Jan Cleland, 211 W. 12th Street, made general comments

Mr. Soyring will collect public participation plans from other communities and invite interested people to participate in developing a public participation plan.

5. REVIEW OF REDEVELOPMENT READY COMMUNITIES EVALUATION REPORT (DRAFT)

Russ Soyring introduced report.

General discussion.

6. DIVISON STREET - REVIEW OF PLANNING/ENVIRONMENTAL/LINKAGES (PEL) REPORTS

Russ Soyring introduced reports.

General discussion.

7. PUBLIC COMMENT

John Nelson, 4022 Incochee Crest Commons and of the Watershed Center Grand Traverse Bay, voiced concern over removal of trees during development projects and their impacts on riparian zones. He would like to see zoning address riparian protection areas.

Adrienne Rossi, 312 W. Seventh, made general comments regarding snow plowing, and street debris.

7. ADJOURNMENT

Vice Chairperson Bergman adjourned the meeting at 9:17 pm

Respectfully submitted,

Date: _____

Jan Warren, Secretary



Communication to the Planning Commission

FOR THE MEETING OF: APRIL 7, 2015

FROM: RUSS SOYRING, PLANNING DIRECTOR *RSoyring*

SUBJECT: 2015-2021 CAPITAL IMPROVEMENT PLAN

DATE: APRIL 2, 2015

At the March 3, 2015 meeting, the Planning Commission set a public hearing on the draft 2015-2021 Draft Capital Improvement Plan. The document has not changed since it was distributed at the February 3 Planning Commission meeting. Please bring your draft copy to this meeting. If you have misplaced your copy or need a new copy, please let me know and a new copy will be printed for you.

During the February 17 Special Meeting, the Planning Commission asked questions regarding some of Light and Power projects. Tim Arends, Executive Director for Light and Power responded to those questions in form of memo included in the packet. Mr. Arends also intends to be at the meeting to answer questions.

If you agree, the draft Capital Improvement Plan helps to implement the Traverse City Master Plan and furthers the desirable future development of the City, the following motion would be appropriate:

I move that a 2015-2021 Capital Improvement Plan as submitted to the Planning Commission (*or as amended by the Planning Commission*) be adopted and that the action be communicated to the City Commission.



To: City Planning Commission
From: Tim Arends, Executive Director
Date: March 30, 2015
Subject: Six Year Capital Improvements Plan

At its February 18, 2015 meeting the City Planning Commission asked some specific questions related to Traverse City Light & Power's (TCL&P) capital plan(s). This memo is a response to those questions. I will also be in attendance at the public hearing in April to answer any further questions you may have, or you may contact me at any time to discuss.

Is TCL&P going to underground in the alley east of the Park Place?

Currently, there are no plans to underground in that portion of the alley. TCL&P will be the new service provider for the Park Place Hotel in May. As a result, it will become owner of the underground facilities of Consumer's Energy. With the new underground, TCL&P service in the alley to the west the utility will be able to provide the hotel with redundant service which will end at the service location for the hotel. With TCL&P's takeover of the Park Place Hotel the overhead Consumer's pole line along the north side of the alley east of the Park Place will be removed in its entirety.

Future development in the east alley may create an opportunity to underground the remaining distribution in the alley.

Why underground in commercial areas more frequently than in residential areas?

Tim Lodge answered the question very well. To accommodate commercial developments and reduce setback requirements it does require electric facilities to be underground or completely relocated. In most cases the cost is borne by the developer.

Does TCL&P have a plan to underground facilities in more areas?

Yes. I believe the question was more related to residential areas. Last year, the utility conducted a pole study of every pole owned by the utility which graded the poles condition and provided and audit of foreign attachments (Charter, AT&T, etc.). Future underground projects include:

- Spruce Street (residential). Planned for 2015 to relocate a vehicle inaccessible, very aged, line into the street ROW to improve reliability and allow for reduced outage duration.
- New service to Hickory Hills (proposed customer gain from Cherryland Electric - subject to Board approval) that will be underground through the existing ROW through Hickory Meadows.
- Randolph Street (residential). Planned for 2015 to allow for removal of a vehicle inaccessible line in Hickory Meadows. Moves the services to the street ROW to improve reliability and allow for reduced outage duration. Will also allow for the removal of existing pole line along Randolph Street that serves the parking lot lights at Hickory Hills.

- Orchard Heights (residential). Planned for 2016. This project will relocate three segments of vehicle inaccessible distribution lines from back lot lines to the street ROW to improve reliability and allow for reduced outage duration.
- Alley from Cass St to Union St (commercial). Planned for 2015. This project will underground the existing distribution line from behind the post office to Cass Street.

Please Note: I am not aware of any plans by Consumer's Energy to remove their substation bus in the alley behind the Methodist church at this time. It remains under the ownership of Consumer's. TCL&P was successful in negotiating the removal of a line that spanned the river to the substation last year.

- Pine & State Streets (commercial). Planned for 2015. In coordination with the City's planned pedestrian bridge, this project will underground services from behind the Hall Street Substation that currently spans the south leg of the Boardman River into Hannah Park. Service will be relocated underground along Pine Street and State Street, then north along Union Street – under Union Street Bridge and riser up on an existing pole in Lay Park.
- West Front Street (Commercial). Spring of 2015. In coordination with the City's West Front Redevelopment Project, TCL&P will install new underground lighting circuits which will eliminate the current overhead lines that currently run from street light pole to street light pole.

As you can see from the above, TCL&P is committed to or planning many underground projects. It will continue to work with the City to further underground services as projects within the city move forward. Total road reconstruction or new streetscapes projects are some examples that prompt those discussions.

Residential underground projects will be focused on relocating vehicle inaccessible lines into the road ROW (there are many and it will take years, if not decades). The benefits will allow crews to restore outages much faster while eliminating the need for tree trimming in the back yards of residents. Many of these lines are surrounded by fenced in back yards, trees or other vegetation. In all cases, the utility will require other utilities to underground along with TCL&P's efforts to allow for complete pole line removal.

The completed pole study will now allow TCL&P to develop an overall plan for circuit rehabilitation. As requested by the Planning Commission in 2014, the utility will always look for opportunities to underground services that benefit the community and improve system reliability. It should be noted that due to the very high cost of undergrounding utility services, as compared to overhead construction, the utility will balance the benefits of undergrounding vs. the impact on overall utility rates.

Cc: TCL&P Board
City Commission



Communication to the Planning Commission

FOR THE MEETING OF: April 7, 2015

FROM: Russ Soyring, Planning Director *DSoyring*

SUBJECT: Major Change to Site Plan Review 14-SPR-01, 124 West Front Street, Traverse City, Michigan

DATE: April 2, 2015

On October 7, 2014, the Planning Commission approved a Site Plan and a Special Land Use Permit for a taller building located at the property commonly known as **124 West Front Street**. One of the conditions that accompany the Granting Order for the Special Land Use Permit was that the windows on the west side of the building shall reflect the general window pattern in the original submittal. In order to meet this requirement the property owner successfully secured the parcel to the west which will shift the west property line to be adjacent to the planned public pedestrian way. This property acquisition will allow for this window requirement to be met. Since there is a public pedestrian way adjacent to the west property line the building can be closer to the west property line and still meet the window requirement.

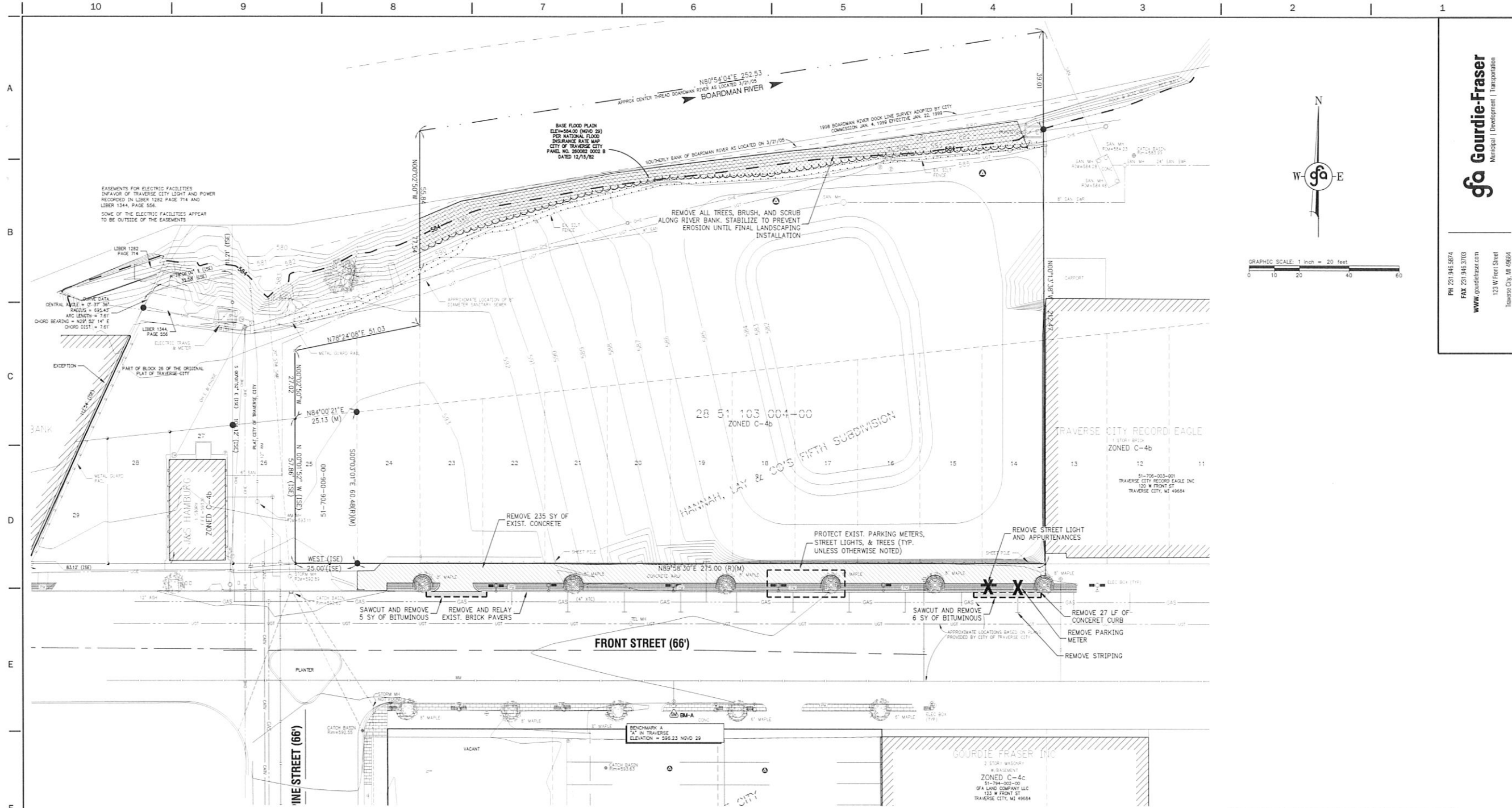
Since the building code will allow for the building to have windows on the west facade, the applicant is wishing to slightly expand the building to the west and on the upper floors with the ground level being a covered walk way. Staff has reviewed the Zoning Code and feels this change is a minor amendment to the Special Land Use Permit, but determined this modification to be a major change (with minor consequences) to the Planning Commission approved site plan. The Zoning Code states that increasing the building's gross floor area is a "Major Change" (see Section 1366.06).

The original site plan approval was for a 5-story, 174,173 square foot, 47 dwelling unit, mixed use building. The proposed change is for a 5-story, 179,601 square foot, 61 dwelling unit, mixed use building. In other words, the building size has increased 5,428 square feet (3% larger than what was originally approved) and there will be 14 additional dwelling units with no change in building height. Staff finds all of the requirements of the Zoning Code are met with the proposed changes requested.

Staff recommends that the major change to the site plan for 124 West Front Street be approved. If you are in agreement with staff's assessment, the following motion would be appropriate:

I move that the request from W. Keith Owen of Owen Architects Collaborative, LLC on behalf of Federated Properties, LLC for major change to Site Plan Review 14-SPR-01 at the property commonly known as 124 W. Front Street be approved as submitted.

Attachments: Application and Plans



gfa Gourdie-Fraser
Municipal | Development | Transportation

PH 231.946.5874
FAX 231.946.3703
www.gourdiefraser.com

123 W Front Street
Traverse City, MI 49664

OAC

Owen Architects Collaborative, LLC
333 Touraine Grosse Pointe Farms, MI 48236
Tel (313)236-2595 Fax (313)882-5002
www.owen-architects-collab.com

FEDERATED PROPERTIES

124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

**EXISTING CONDITIONS/
DEMOLITION PLAN**

Legal Description

LEGAL DESCRIPTION AS FURNISHED:
TRANSACTION TITLE INSURANCE CORPORATION FILE NO. 05177954

BEGINNING AT THE SOUTHEAST CORNER OF LOT 14, OF HANNAH, LAY & CO'S FIFTH SUBDIVISION OF BLOCK 26 OF THE ORIGINAL PLAT OF THE CITY OF TRAVERSE CITY, MICHIGAN; THENCE WEST ALONG THE SOUTH LINE OF SAID BLOCK 26 TO THE SOUTHWEST CORNER OF LOT 24 OF HANNAH, LAY & CO'S FIFTH SUBDIVISION OF BLOCK 26; THENCE NORTHERLY TO THE NORTHWEST CORNER OF SAID LOT 24, BEING ALSO THE NORTHEAST CORNER OF LOT 25 OF SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT 25 TO THE NORTHWEST CORNER OF SAID LOT 25; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 25, EXTENDED NORTHERLY, 27.02 FEET; THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF SAID LOT 24, EXTENDED NORTHERLY, 32.30 FEET; NORTH OF THE NORTHEAST CORNER OF SAID LOT 24; THENCE NORTH ALONG THE EAST LINE, EXTENDED NORTHERLY, OF SAID LOT 24, TO THE THREAD OF THE BOARDMAN RIVER; THENCE EASTERLY ALONG THE THREAD OF THE BOARDMAN RIVER TO THE EAST LINE, EXTENDED NORTHERLY, OF SAID LOT 14; THENCE SOUTH ALONG SAID EAST LINE EXTENDED, AND EAST LINE OF SAID LOT 14, TO THE POINT OF BEGINNING.

EXCEPTIONS:
RESERVATIONS OF RIPARIAN RIGHTS AND FLOWAGE RIGHTS AS DISCLOSED IN LIBER 140, PAGE 8.

BEARING BASIS:
PREVIOUS GFA FILE NUMBER: 021480

LOT 25, OF HANNAH, LAY & CO'S FIFTH SUBDIVISION CONVEYED TO APPLICANT ON MARCH 10, 2015.

General Notes

1. SIDEWALK SHALL REMAIN OPEN DURING CONSTRUCTION BUT SHALL BE CLOSED AS NECESSARY TO PROVIDE FOR PUBLIC SAFETY OR AS REQUIRED BY CONDITIONS OF THE CITY OF TRAVERSE CITY LAND USE PERMIT.
2. CONTRACTOR SHALL TAKE PRECAUTIONS AND WORK WITH EXTREME CARE AS NECESSARY TO PREVENT DAMAGE TO THE CURB, ROADWAY AND STREET TREES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIR COSTS OR FINES ASSOCIATED WITH DAMAGE TO THESE ITEMS THAT OCCURS DURING THE COURSE OF CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE AND PAY FOR ALL PARKING CLOSURES REQUIRED DURING CONSTRUCTION.
4. CONTRACTOR SHALL PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION. SHOULD ANY DAMAGE OCCUR CONTRACTOR SHALL COMPLETE REPAIRS IMMEDIATELY AT NO COST TO THE CITY. REPAIR WORK SHALL BE WITNESSED BY A CITY REPRESENTATIVE PRIOR TO COVERING WORK.
5. REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL WALK THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NECESSARY TO COMPLETE CONSTRUCTION. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE ENGINEER.
6. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGE TO ITEMS NOT SCHEDULED FOR REMOVAL.
7. CONTRACTOR SHALL PROTECT ALL EXISTING CATCH BASINS EXPOSED TO CONSTRUCTION DEBRIS WITH STONE FILTERS AND SILT FENCE.
8. CONTRACTOR TO INSTALL 20"x50"x12" STONE EXIT FOR ALL CONSTRUCTION TRAFFIC.

Soil Erosion/Storm Water Control Notes

1. THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL EROSION CONTROL MEASURES PER P.A. 451 AS AMENDED. WITH THE USE OF SILT FENCE AND OTHER TEMPORARY MEASURES THE CONTRACTOR SHALL PROTECT THE ADJACENT AREA FROM ACCELERATED EROSION AND SEDIMENTATION FLOWS RESULTING FROM CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES, IF DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, AT NO ADDITIONAL COST TO THE PROJECT.
2. INSTALLATION AND MAINTENANCE OF TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. SHOULD ADDITIONAL SOIL EROSION CONTROL MEASURES BE DETERMINED TO BE NECESSARY BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER THEY SHALL BE IN PLACE NO LATER THAN 24 HOURS FROM THE TIME OF NOTIFICATION TO THE GENERAL CONTRACTOR FOR THE PROJECT. IF NOT PLACED IN 24 HOURS OR LESS ALL ON SITE CONSTRUCTION WILL BE HALTED UNTIL SUCH MEASURES ARE INSTALLED AND APPROVED BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER.
4. ALL DISTURBED NON-HARD SURFACE AREAS TO BE STABILIZED WITH TOPSOIL, SEEDED, FERTILIZED AND MULCHED. DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH NOT LESS THAN FOUR (4) INCHES. SLOPES BETWEEN 1 ON 3 AND 1 ON 2 SHALL BE SOODED AND STAKED OR RECEIVE SEED WITH MULCH BLANKET.
5. IF REQUESTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, A WATER TRUCK SHALL BE KEPT ON STAND-BY ON SITE DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE WATER TRUCK SHALL BE USED AS DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER TO CONTROL WIND EROSION.
6. THE CONTRACTOR SHALL REMOVE OR CAUSE TO BE REMOVED ALL SEDIMENT OR SOILS THAT HAVE BEEN DROPPED, WASHED ONTO OR TRACKED OUT ONTO THE PUBLIC RIGHT-OF-WAY AT THE END OF EACH WORKING DAY OR AFTER EACH RAIN EVENT ON NON-WORK DAYS.

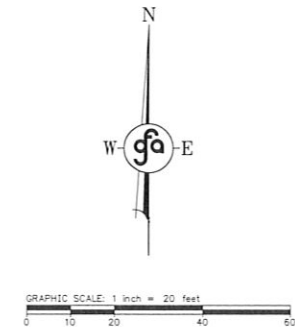
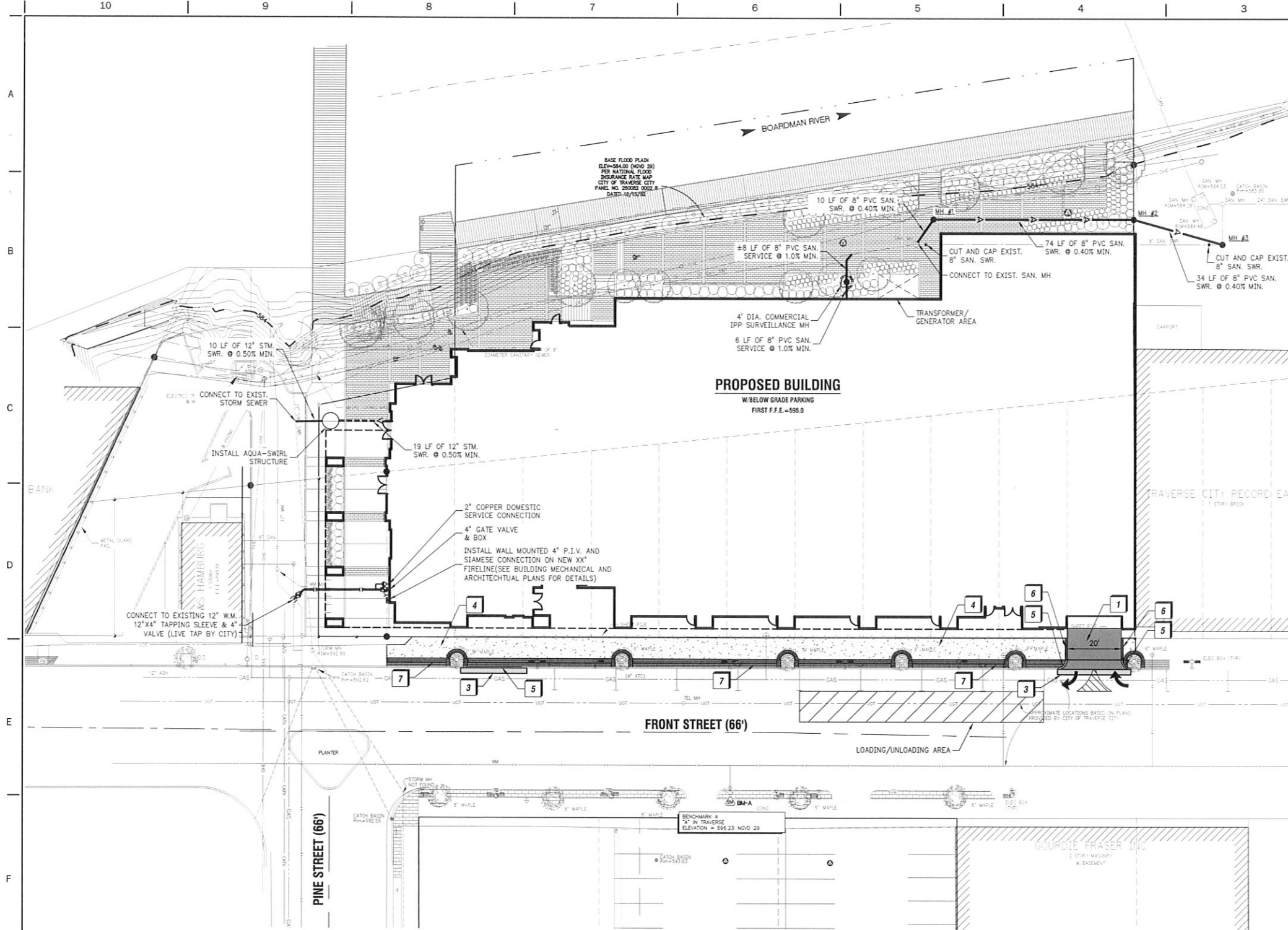
Legend

- | | | | |
|-----|----------------------|-------|-------------------|
| (T) | TANK COVER | N. | NORTH |
| (E) | ELECTRICAL PANEL | S. | SOUTH |
| (G) | GUARD POST | E. | EAST |
| (F) | FLAG POLE | W. | WEST |
| (L) | FLOOD LIGHT | ° | DEGREES |
| (C) | CATCH BASIN | ' | FEET OR MINUTES |
| (D) | TEST LEAD | " | INCHES OR SECONDS |
| (P) | LIGHT POLE | Sq. | SQUARE |
| (S) | CURB STOP | Ft. | FEET |
| (M) | MANHOLE | Vol. | VOLUME |
| (T) | ELEC. TRANSFORMER | Pg. | PAGE |
| (H) | FIRE HYDRANT | O.R. | OFFICIAL RECORD |
| (B) | MAILBOX | Calc. | CALCULATED |
| (S) | SIGN | Rec. | RECORD |
| (U) | UTILITY POLE | R/W | RIGHT OF WAY |
| (T) | TELE RISER | C/L | CENTERLINE |
| (F) | FOUND IRON | T | TITLE |
| (M) | FOUND MONUMENT | | |
| (S) | SECTION CORNER LABEL | | |
| (B) | SOIL BORING | | |
- X** REMOVAL
- DEMOLITION LIMITS
- CLEARING LIMITS

SPA & SLUP AMENDMENT	03/27/2015
SPA & SLUP	08/27/14
REVIEW	07/29/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14
Drawn By	CPB
Checked By	TLMB
Approved By	RAW

14002

C100



Site Data

PARCEL INFORMATION:
PARCEL ZONING: C-46 REGIONAL CENTER DISTRICT
PROPERTY TAX NO: 26-51-103-004-00
SEC., TOWN, RANGE: 3, T27N, R11W
PARCEL SIZE: 1.17 ACRES

General Notes

- ALL RIGHT-OF-WAY PAVEMENT CUTS AND PATCHING MUST OCCUR BETWEEN APRIL 15 AND NOVEMBER 15 UNLESS APPROVAL OTHERWISE.
- ALL PATCHING OF ALLEY SHALL BE COMPLETED WITH A MINIMUM OF 3 INCHES OF M.D.O.T. SPEC. 1100T, 20A4 BITUMINOUS PAVEMENT OVER 8 INCHES OF Z2A GRAVEL COMPACTED TO 95% OF MAXIMUM DENSITY.
- CONTRACTOR SHALL MAINTAIN 18 FEET CLEAR WIDTH TRAFFIC / FIRE LANE AT ALL TIMES ON FRONT STREET.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY BARRIERS AND SIGNAGE FOR STREET AND SIDEWALK CLOSURES.
- THE LOCATION OF EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWERS AND WATER LINES, OF RECORD ARE SHOWN ON THE PLANS. THE INFORMATION SHOWN IS BELIEVED TO BE REASONABLY CORRECT AND COMPLETE. HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY OPERATIONS IN THE VICINITY OF ANY UTILITIES, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND MISS DIG AND REQUEST THAT THEY STAKE OUT THE LOCATIONS OF THE UTILITIES IN QUESTION. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY UTILITIES WITH THE UTILITY PROVIDER. COST OF REPAIR FOR ANY DAMAGED UTILITY LINES THAT ARE PROPERLY STAKED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL SERVICE WORK WITH TRAVERSE CITY LIGHT & POWER.
- CONTRACTOR SHALL COORDINATE ALL NATURAL GAS SERVICE WORK WITH D.T.E. ENERGY.
- CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS SERVICE WORK WITH AT&T.
- CONTRACTOR SHALL COORDINATE ALL CABLE TELEVISION SERVICE WORK WITH CHARTER COMMUNICATIONS.

Construction Notes

1 CONCRETE PAVING DETAIL (SEE DETAIL 1 ON SHEET C102)	8
2 PAVING DETAIL (SEE DETAIL 2 ON SHEET C102)	9
3 BUTT JOINT DETAIL (SEE DETAIL 3 ON SHEET C102)	10
4 INSTALL CONCRETE WALK (SEE DETAIL 4 ON SHEET C102)	11
5 INSTALL CONCRETE CURB (SEE DETAIL 5 ON SHEET C102)	12
6 INSTALL BRICK BANDING (SEE DETAIL 6 ON SHEET C102)	13
7 INSTALL CITY BRICK STREETSCAPE (SEE DETAIL 7 ON SHEET C102)	

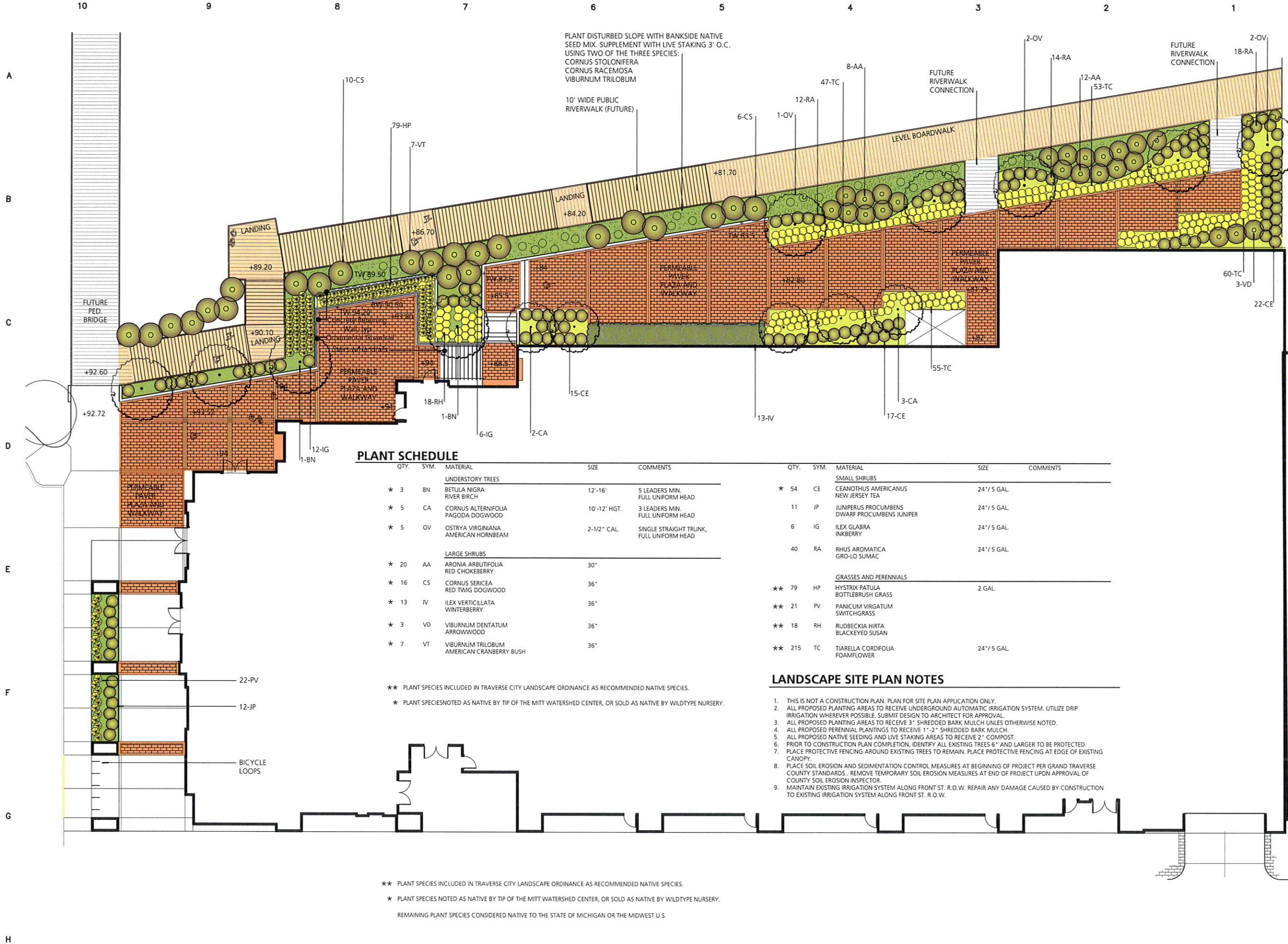
gfa Gourdie-Fraser
Municipal | Development | Transportation
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www.owen-architects-collab.com

FEDERATED PROPERTIES
124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN
PROPOSED SITE PLAN

SPA & SLUP AMENDMENT	03/27/2015
SPA & SLUP	08/27/14
REVIEW	07/29/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14
Issued For	
Drawn By	CPB
Checked By	TLMB
Approved By	RAW

Project no.
14002
Sheet no.
C101



PLANT DISTURBED SLOPE WITH BANKSIDE NATIVE SEED MIX. SUPPLEMENT WITH LIVE STAKING 3' O.C. USING TWO OF THE THREE SPECIES: CORNUS STOLONIFERA CORNUS RACEMOSA VIBURNUM TRILOBUM

10' WIDE PUBLIC RIVERWALK (FUTURE)

FUTURE RIVERWALK CONNECTION

FUTURE RIVERWALK CONNECTION

PLANT SCHEDULE

QTY.	SYM.	MATERIAL	SIZE	COMMENTS	QTY.	SYM.	MATERIAL	SIZE	COMMENTS
UNDERSTORY TREES					SMALL SHRUBS				
★ 3	BN	BETULA NIGRA RIVER BIRCH	12'-16'	5 LEADERS MIN. FULL UNIFORM HEAD	★ 54	CE	CEANOTHUS AMERICANUS NEW JERSEY TEA	24"/5 GAL.	
★ 5	CA	CORNUS ALTERNIFOLIA PAGODA DOGWOOD	10'-12" HGT.	3 LEADERS MIN. FULL UNIFORM HEAD	11	JP	JUNIPERUS PROCUMBENS DWARF PROCUMBENS JUNIPER	24"/5 GAL.	
★ 5	OV	OSTRYA VIRGINIANA AMERICAN HORNBEAM	2-1/2" CAL.	SINGLE STRAIGHT TRUNK, FULL UNIFORM HEAD	6	IG	ILEX GLABRA INK BERRY	24"/5 GAL.	
LARGE SHRUBS					40	RA	RHUS AROMATICA GRO-LO SUMAC	24"/5 GAL.	
★ 20	AA	ARONIA ARBUTIFOLIA RED CHOKEBERRY	30"		GRASSES AND PERENNIALS				
★ 16	CS	CORNUS SERICEA RED TWIG DOGWOOD	36"		★ 79	HP	HYSTRIX PATULA BOTTLEBRUSH GRASS	2 GAL.	
★ 13	IV	ILEX VERTICILLATA WINTERBERRY	36"		★ 21	PV	PANICUM VIRGATUM SWITCHGRASS		
★ 3	VD	VIBURNUM DENTATUM ARROWWOOD	36"		★ 18	RH	RUDBECKIA HIRTA BLACK EYED SUSAN		
★ 7	VT	VIBURNUM TRILOBUM AMERICAN CRANBERRY BUSH	36"		★ 215	TC	TIARELLA CORDIFOLIA FOAMFLOWER	24"/5 GAL.	

★★ PLANT SPECIES INCLUDED IN TRAVERSE CITY LANDSCAPE ORDINANCE AS RECOMMENDED NATIVE SPECIES.
★ PLANT SPECIES NOTED AS NATIVE BY TIP OF THE MITT WATERSHED CENTER, OR SOLD AS NATIVE BY WILDTYPE NURSERY.
★★ PLANT SPECIES INCLUDED IN TRAVERSE CITY LANDSCAPE ORDINANCE AS RECOMMENDED NATIVE SPECIES.
★ PLANT SPECIES NOTED AS NATIVE BY TIP OF THE MITT WATERSHED CENTER, OR SOLD AS NATIVE BY WILDTYPE NURSERY.
REMAINING PLANT SPECIES CONSIDERED NATIVE TO THE STATE OF MICHIGAN OR THE MIDWEST U.S.

LANDSCAPE SITE PLAN NOTES

- THIS IS NOT A CONSTRUCTION PLAN. PLAN FOR SITE PLAN APPLICATION ONLY.
- ALL PROPOSED PLANTING AREAS TO RECEIVE UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. UTILIZE DRIP IRRIGATION WHEREVER POSSIBLE. SUBMIT DESIGN TO ARCHITECT FOR APPROVAL.
- ALL PROPOSED PLANTING AREAS TO RECEIVE 3" SHREDDED BARK MULCH UNLESS OTHERWISE NOTED.
- ALL PROPOSED PERENNIAL PLANTINGS TO RECEIVE 1"-2" SHREDDED BARK MULCH.
- ALL PROPOSED NATIVE SEEDING AND LIVE STAKING AREAS TO RECEIVE 2" COMPOST.
- PRIOR TO CONSTRUCTION PLAN COMPLETION, IDENTIFY ALL EXISTING TREES 6" AND LARGER TO BE PROTECTED.
- PLACE PROTECTIVE FENCING AROUND EXISTING TREES TO REMAIN. PLACE PROTECTIVE FENCING AT EDGE OF EXISTING CANOPY.
- PLACE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AT BEGINNING OF PROJECT PER GRAND TRAVERSE COUNTY STANDARDS. REMOVE TEMPORARY SOIL EROSION MEASURES AT END OF PROJECT UPON APPROVAL OF COUNTY SOIL EROSION INSPECTOR.
- MAINTAIN EXISTING IRRIGATION SYSTEM ALONG FRONT ST. R.O.W. REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION TO EXISTING IRRIGATION SYSTEM ALONG FRONT ST. R.O.W.

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Landscape Architecture
Planning & Engineering
Beckett & Raeder, Inc.
616 Petoskey St., Suite 100
Petoskey, MI 49770
231 347 2523 ph
231 347 2524 fx

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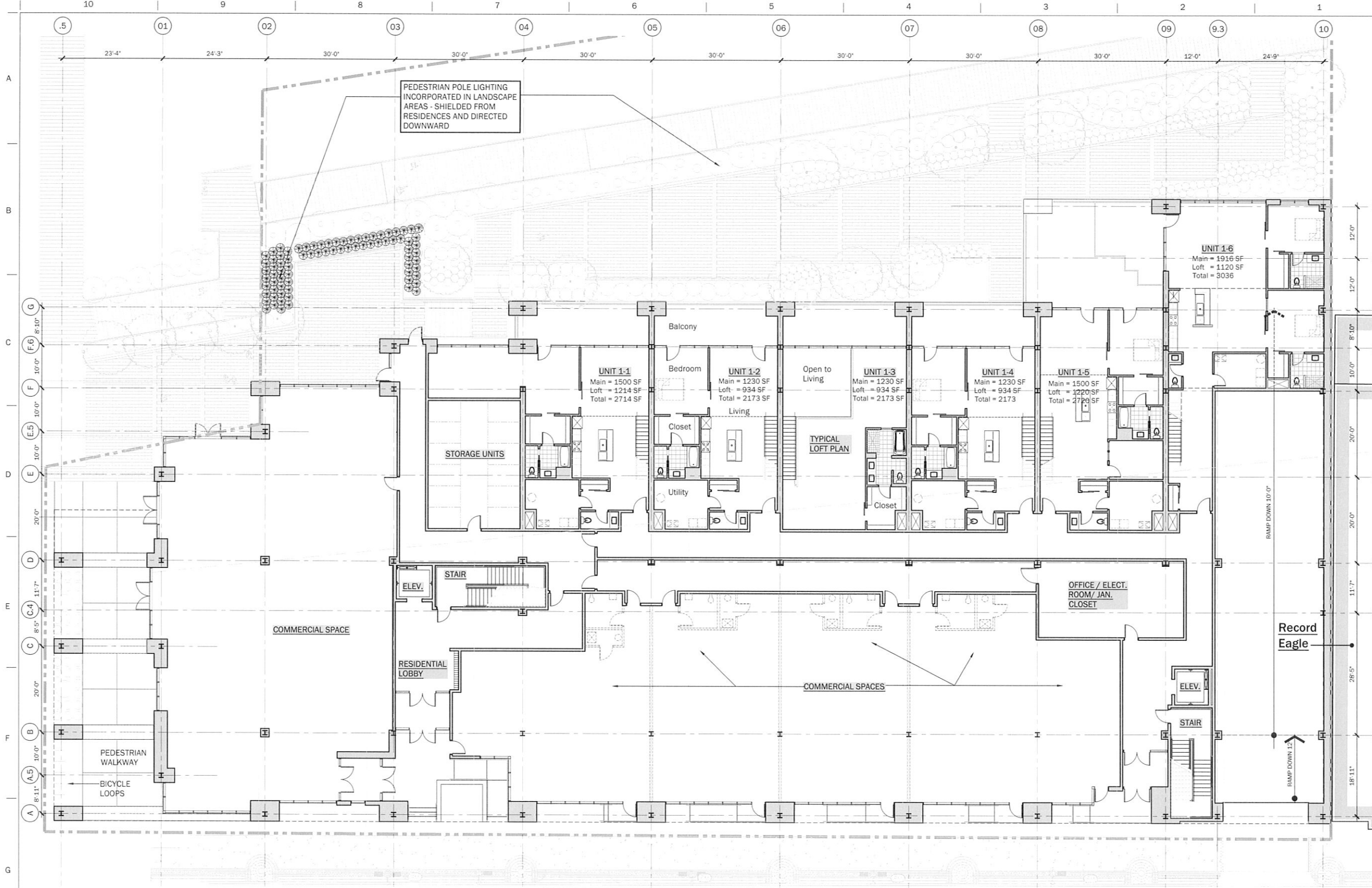
124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

LANDSCAPE SITE PLAN

SPA & SLUP	03/27/15
SPA & SLUP	08/27/14
REVIEW	07/28/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

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Checked By
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FEDERATED PROPERTIES

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TRAVERSE CITY, MICHIGAN

Sheet

FIRST LEVEL FLOOR PLAN

SPA & SLUP AMENDMENT	03/27/15
CITY REVIEW	03/18/15
SCHEMATIC DESIGN	09/04/14
SPA & SLUP	08/27/14
REVIEW	07/29/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14
Issued For	
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Sheet no.

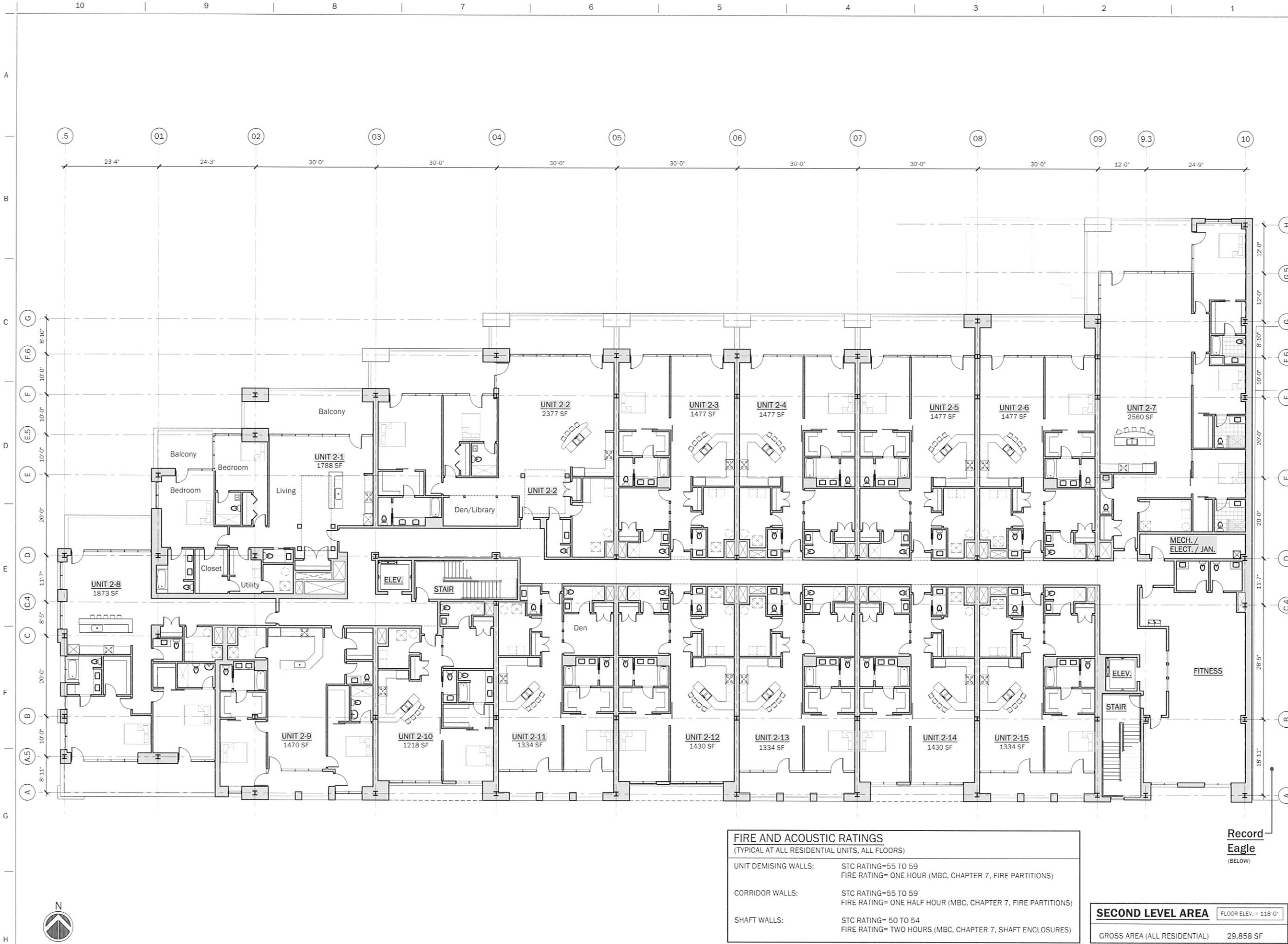
A101

PROPOSED FIRE DEPARTMENT CONNECTION. VERIFY FINAL LOCATION WITH FIRE DEPT.

FIRE AND ACOUSTIC RATINGS	
(TYPICAL AT ALL RESIDENTIAL UNITS, ALL FLOORS)	
UNIT DEMISING WALLS:	STC RATING=55 TO 59 FIRE RATING= ONE HOUR (MBC, CHAPTER 7, FIRE PARTITIONS)
CORRIDOR WALLS:	STC RATING=55 TO 59 FIRE RATING= ONE HALF HOUR (MBC, CHAPTER 7, FIRE PARTITIONS)
SHAFT WALLS:	STC RATING= 50 TO 54 FIRE RATING= TWO HOURS (MBC, CHAPTER 7, SHAFT ENCLOSURES)

FIRST LEVEL AREAS	
FLOOR ELEV. = 100'-0"	
GROSS AREA OF RESIDENTIAL	16,293 SF
GROSS AREA OF COMMERCIAL	13,762 SF
TOTAL AREA	30,055 SF

OVERHEAD DOOR TO LOWER LEVEL PARKING GARAGE. PROVIDE MIRRORS, PEDESTRIAN WARNING LIGHTS AND AUDIBLE ALARMS LINKED TO DOOR OPERATION.



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FEDERATED PROPERTIES
124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

Sheet
SECOND LEVEL FLOOR PLAN

SPA & SLUP AMENDMENT	03/27/15
CITY REVIEW	03/18/15
SCHEMATIC DESIGN REV.	02/18/15
SCHEMATIC DESIGN	09/04/14
SPA & SLUP	08/27/14
REVIEW	07/19/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

Drawn By: FEA / BAG
Checked By: TJZ / RAW
Approved By: WKD

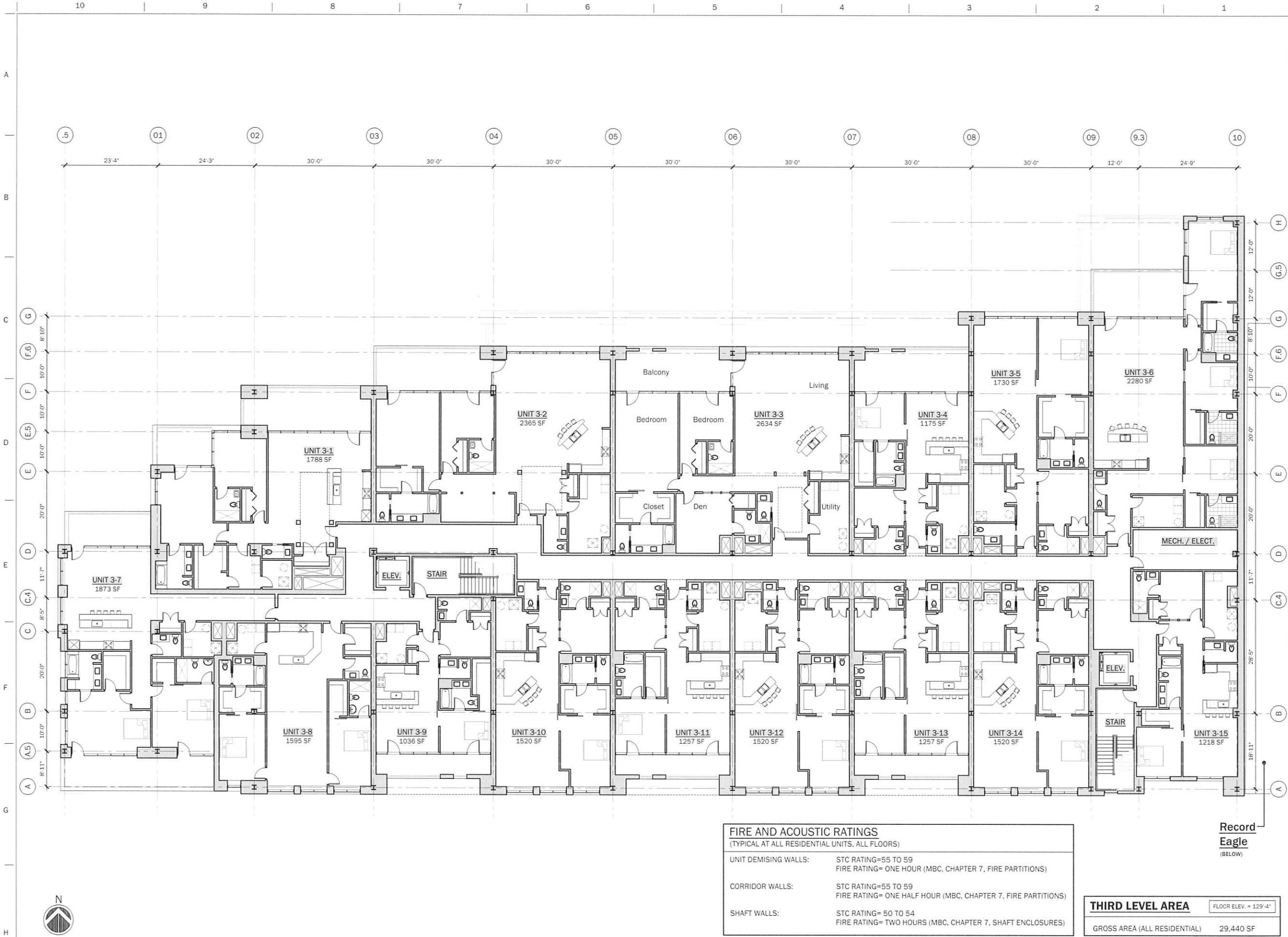
Project no.
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Sheet no.
A102

FIRE AND ACOUSTIC RATINGS	
(TYPICAL AT ALL RESIDENTIAL UNITS, ALL FLOORS)	
UNIT DEMISING WALLS:	STC RATING=55 TO 59 FIRE RATING= ONE HOUR (MBC, CHAPTER 7, FIRE PARTITIONS)
CORRIDOR WALLS:	STC RATING=55 TO 59 FIRE RATING= ONE HALF HOUR (MBC, CHAPTER 7, FIRE PARTITIONS)
SHAFT WALLS:	STC RATING= 50 TO 54 FIRE RATING= TWO HOURS (MBC, CHAPTER 7, SHAFT ENCLOSURES)

SECOND LEVEL AREA	FLOOR ELEV. = 118'-0"
GROSS AREA (ALL RESIDENTIAL)	29,858 SF

Record
Eagle
(BELOW)



FIRE AND ACOUSTIC RATINGS	
(TYPICAL AT ALL RESIDENTIAL UNITS, ALL FLOORS)	
UNIT DEMISING WALLS:	STC RATING=55 TO 59 FIRE RATING= ONE HOUR (MBC, CHAPTER 7, FIRE PARTITIONS)
CORRIDOR WALLS:	STC RATING=55 TO 59 FIRE RATING= ONE HALF HOUR (MBC, CHAPTER 7, FIRE PARTITIONS)
SHAFT WALLS:	STC RATING= 50 TO 54 FIRE RATING= TWO HOURS (MBC, CHAPTER 7, SHAFT ENCLOSURES)

THIRD LEVEL AREA	
FLOOR ELEV. = 129'-4"	
GROSS AREA (ALL RESIDENTIAL)	29,440 SF

Record
Eagle
(BELOW)

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PROPERTIES

124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

THIRD LEVEL
FLOOR PLAN

SPA & SLUP AMENDMENT	03/27/15
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SCHEMATIC DESIGN REV.	02/18/15
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SPA & SLUP	08/27/14
REVIEW	07/29/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

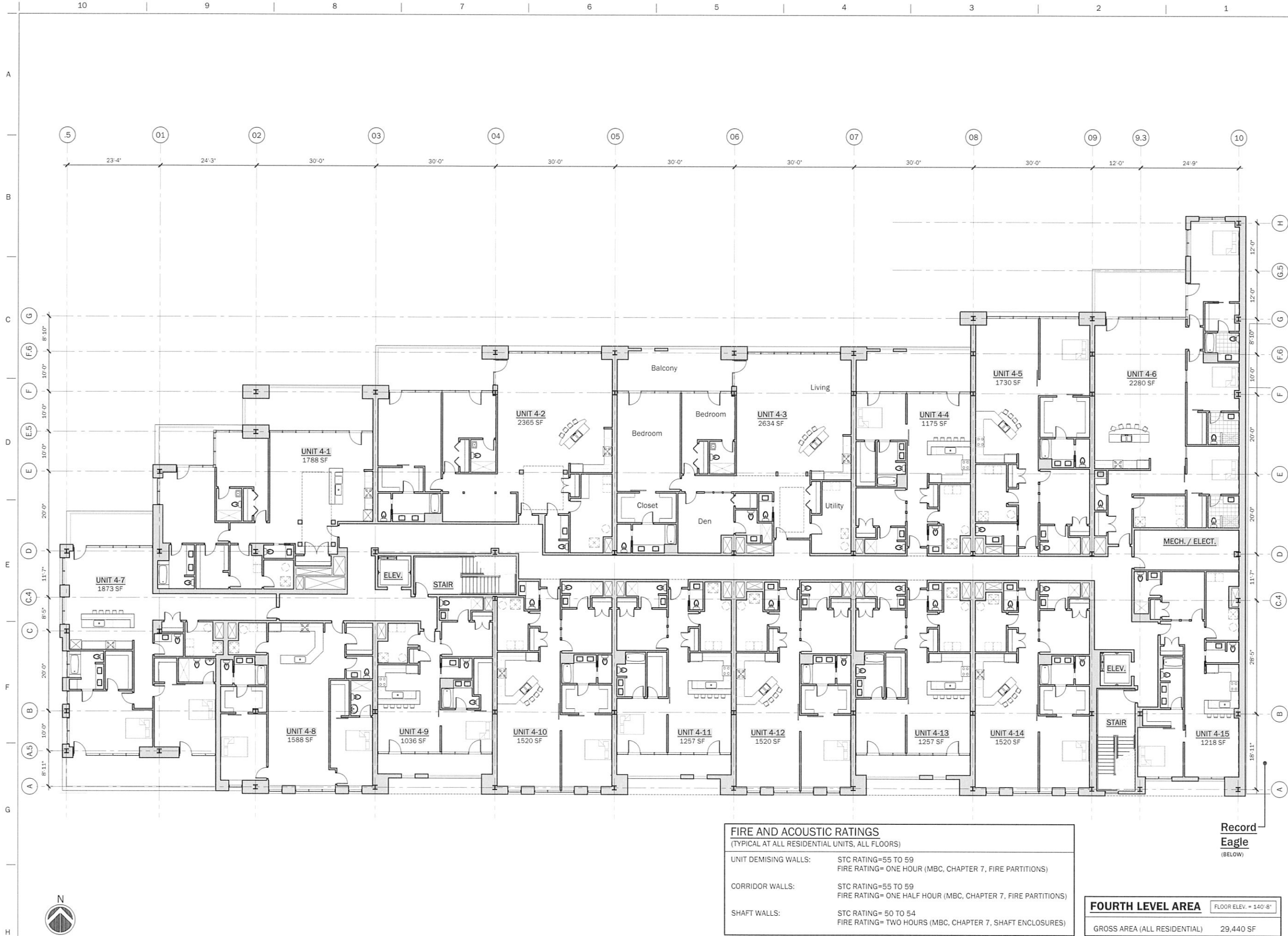
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14002

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H10 THIRD LEVEL FLOOR PLAN

3/32"=1'-0"



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124 WEST FRONT STREET
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Sheet

FOURTH LEVEL
FLOOR PLAN

SPA & SLUP AMENDMENT	03/27/15
CITY REVIEW	03/18/15
SCHEMATIC DESIGN REV.	02/18/15
SCHEMATIC DESIGN	09/04/14
SPA & SLUP	08/27/14
REVIEW	07/29/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

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Sheet no.

A104

FIRE AND ACOUSTIC RATINGS

(TYPICAL AT ALL RESIDENTIAL UNITS, ALL FLOORS)

UNIT DEMISING WALLS:	STC RATING=55 TO 59 FIRE RATING= ONE HOUR (MBC, CHAPTER 7, FIRE PARTITIONS)
CORRIDOR WALLS:	STC RATING=55 TO 59 FIRE RATING= ONE HALF HOUR (MBC, CHAPTER 7, FIRE PARTITIONS)
SHAFT WALLS:	STC RATING= 50 TO 54 FIRE RATING= TWO HOURS (MBC, CHAPTER 7, SHAFT ENCLOSURES)

Record
Eagle
(BELOW)

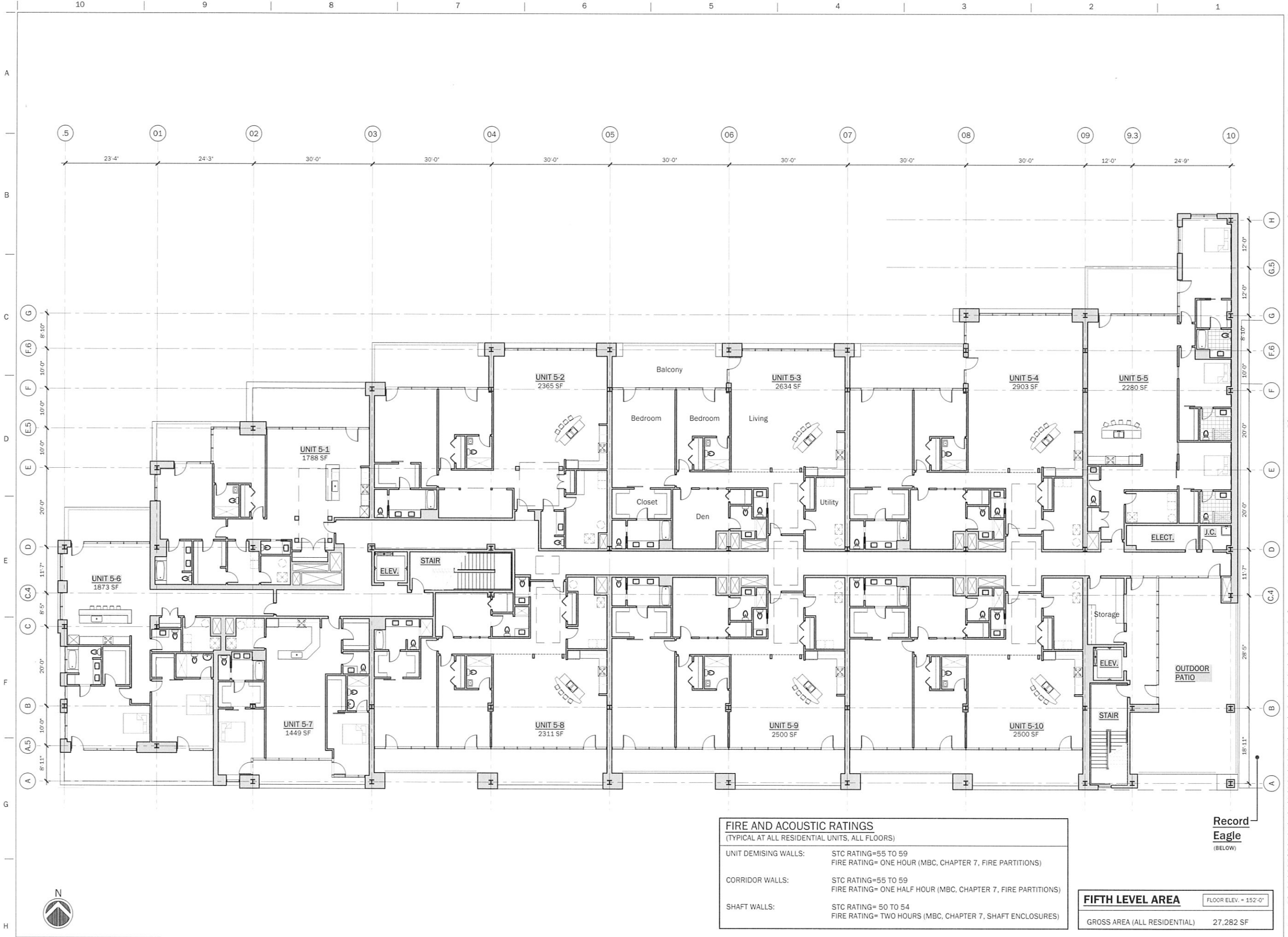
FOURTH LEVEL AREA

FLOOR ELEV. = 140'-8"

GROSS AREA (ALL RESIDENTIAL) 29,440 SF

H10 FOURTH LEVEL FLOOR PLAN

3/32"=1'-0"



FIRE AND ACOUSTIC RATINGS	
(TYPICAL AT ALL RESIDENTIAL UNITS, ALL FLOORS)	
UNIT DEMISING WALLS:	STC RATING=55 TO 59 FIRE RATING= ONE HOUR (MBC, CHAPTER 7, FIRE PARTITIONS)
CORRIDOR WALLS:	STC RATING=55 TO 59 FIRE RATING= ONE HALF HOUR (MBC, CHAPTER 7, FIRE PARTITIONS)
SHAFT WALLS:	STC RATING= 50 TO 54 FIRE RATING= TWO HOURS (MBC, CHAPTER 7, SHAFT ENCLOSURES)

FIFTH LEVEL AREA	FLOOR ELEV. = 152'-0"
GROSS AREA (ALL RESIDENTIAL)	27,282 SF

Record
Eagle
(BELOW)

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124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN
FIFTH LEVEL FLOOR PLAN

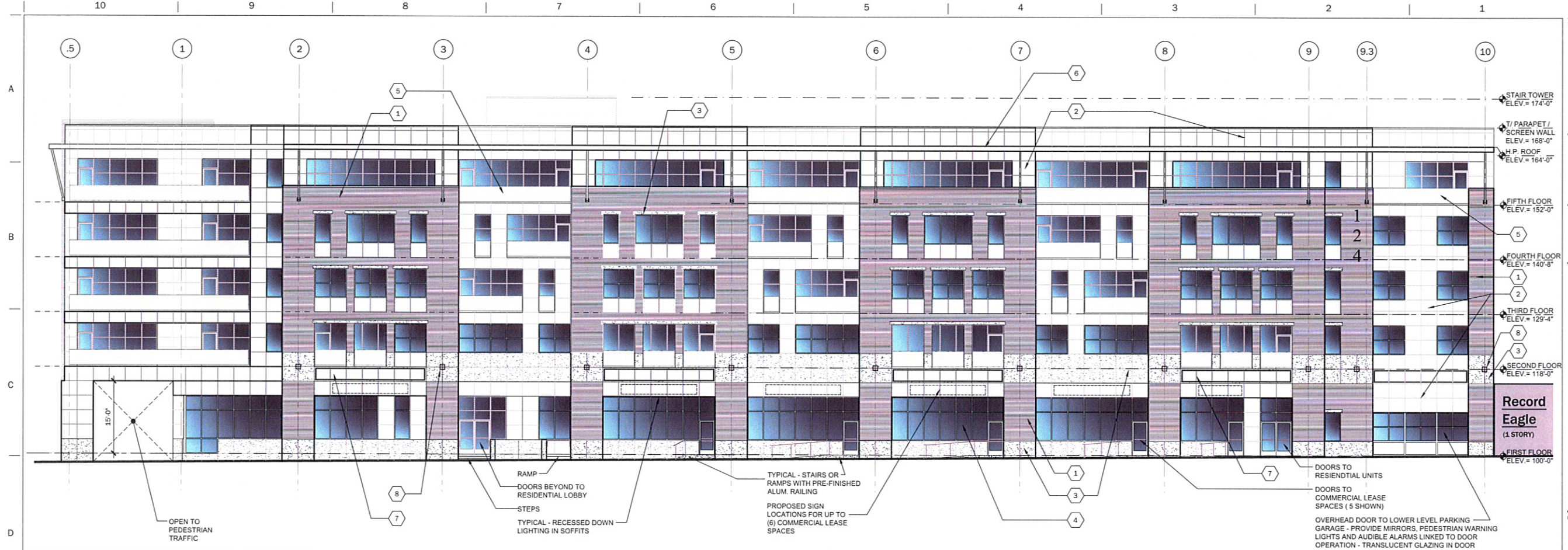
SPA & SLUP AMENDMENT	03/27/15
CITY REVIEW	03/18/15
SCHEMATIC DESIGN REV.	02/18/15
SCHEMATIC DESIGN	09/04/14
SPA & SLUP	08/27/14
REVIEW	07/30/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14
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14002

A105

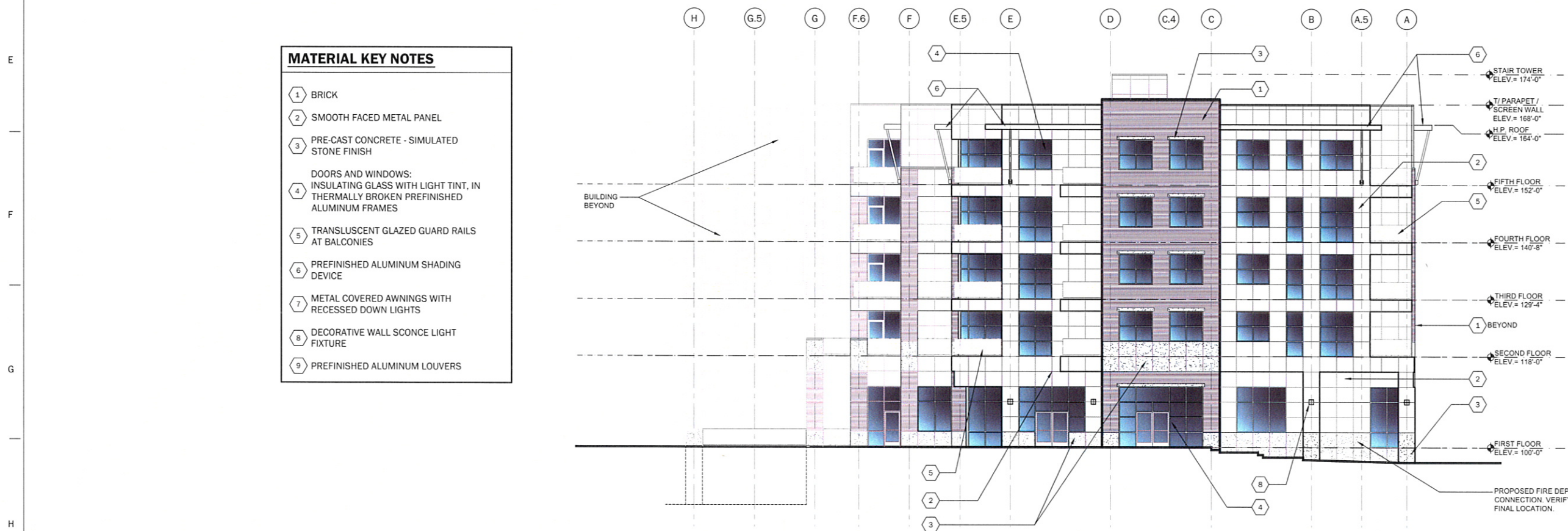
H10 FIFTH LEVEL FLOOR PLAN

3/32"=1'-0"



D10 SOUTH ELEVATION

3/32"=1'-0" A100, A101, A012, A103, A104, A105



H10 WEST ELEVATION

3/32"=1'-0" A100, A101, A012, A103, A104, A105

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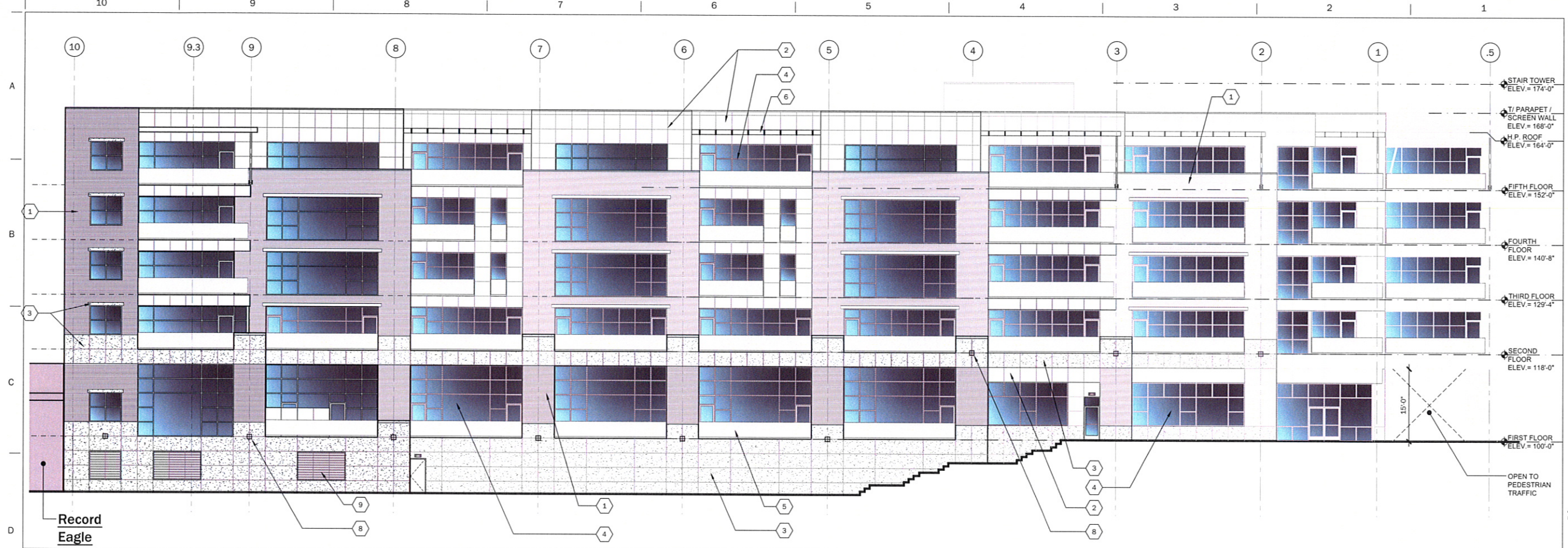
SOUTH AND WEST
EXTERIOR ELEVATIONS

SPA & SLUP AMENDMENT	03/27/15
CITY REVIEW	03/18/15
SPA & SLUP REVISION	10/01/14
SCHEMATIC DESIGN	09/04/14
SPA & SLUP	08/27/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

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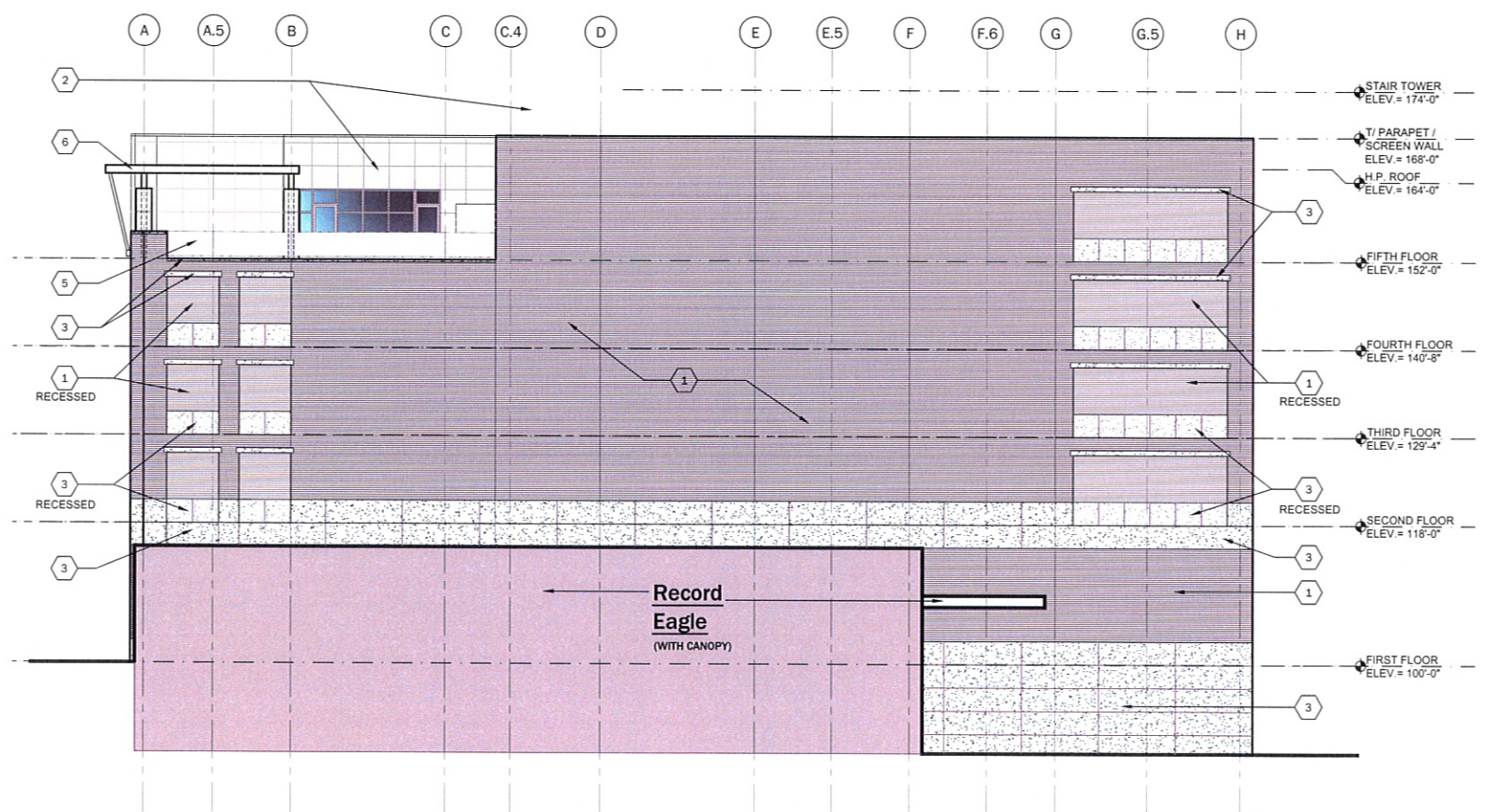
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A201



D10 NORTH ELEVATION

3/32"=1'-0" A100, A101, A102, A103, A104, A105

MATERIAL KEY NOTES	
1	BRICK
2	SMOOTH FACED METAL PANEL
3	PRE-CAST CONCRETE - SIMULATED STONE FINISH
DOORS AND WINDOWS: INSULATING GLASS WITH LIGHT TINT, IN THERMALLY BROKEN PREFINISHED ALUMINUM FRAMES	
4	TRANSLUSCENT GLAZED GUARD RAILS AT BALCONIES
5	PREFINISHED ALUMINUM SHADING DEVICE
6	METAL COVERED AWNINGS WITH RECESSED DOWN LIGHTS
7	DECORATIVE WALL SCONCE LIGHT FIXTURE
8	PREFINISHED ALUMINUM LOUVERS



H10 EAST ELEVATION

3/32"=1'-0" A100, A101, A102, A103, A104, A105

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FEDERATED PROPERTIES

124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

NORTH AND EAST
EXTERIOR ELEVATIONS

SPA & SLUP AMENDMENT	03/27/15
CITY REVIEW	03/18/15
SPA & SLUP REVISION	10/01/14
SCHEMATIC DESIGN	09/04/14
SPA & SLUP	08/27/14
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REVIEW	05/05/14
CONCEPT	01/22/14

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Project no.

14002

Sheet no.

A202



Communication to the Planning Commission

FOR THE MEETING OF: APRIL 7, 2015

FROM: RUSS SOYRING, PLANNING DIRECTOR *[Signature]*

SUBJECT: PUBLIC ARTS COMMISSION REPRESENTATIVE

DATE: APRIL 2, 2015

The City Commission recently created a Public Arts Commission. The composition of this new seven member Commission includes a representative from the City Planning Commission. Planning Commissioners Koebert and Warren have both expressed interest in serving on the Public Arts Commission.

Goals of the Public Art Program

- Promote the visual arts in Traverse City
- Include works of art representing a broad variety of media, styles and community interests
- Provide opportunities for artists of all racial, ethnic, and cultural backgrounds, disabilities and other diverse groups
- Enhance the urban environment and public spaces throughout the City
- Pursue opportunities to inform the public regarding public art including public participation in all phases of the public art process
- Document, maintain and conserve works of art in the public art collection, while leaving a legacy of artwork for future generations

Information regarding the Public Arts Commission can be found at the following link:
http://www.traversecitymi.gov/downloads/public_art_ordinance_presentation.pdf

An appropriate motion would be:

I move that Commissioner _____ serve on the Public Arts Commission as the City Planning Commission Representative.



Communication to the Planning Commission

FOR THE MEETING OF: APRIL 7, 2015

FROM: RUSS SOYRING, PLANNING DIRECTOR *DSR*

SUBJECT: REPRESENTATIVE ON PUBLIC PARTICIPATION PLAN COMMITTEE

DATE: APRIL 2, 2015

At the March 17 Planning Commission meeting there was a healthy discussion on how the City can more effectively engage the public regarding important public issues and projects. Since public engagement is important City-wide with all of our boards and commissions, I recommend that staff lead this process with input from several of our boards, commissions and citizens.

Planning Commissioner Dow has indicated interest in serving on this committee. I have recruited or shall I say drafted, a couple of active community residents to serve on the committee as well.

If you have suggestions for the types of individuals that you feel would be beneficial to have on this committee I would like to hear your suggestions.